

# ORDINANCE #443

**AN ORDINANCE OF THE TOWN OF REARDAN, WASHINGTON, ANNEXING AN UNINCORPORATED AREA WHICH IS CONTIGUOUS TO THE TOWN OF REARDAN.**

**WHEREAS, the owner of 100% in value of the property in the annexation area has petitioned the Town of Reardan that the below described property be annexed to and become part of the Town; and**

**WHEREAS, notice of the Town's hearing on the proposed annexation was posted and published in the form and manner required by law; and**

**WHEREAS a public hearing was held as required by law, therefore,**

**BE IT ORDAINED BY THE COUNCIL OF THE TOWN OF REARDAN:**

## SECTION I

**The following property, situated in Lincoln County, Washington, is hereby annexed to and made a part of the Town of Reardan:**

**That portion of the following described tract lying North of the North line extended West of Summit Street as shown on the plat of the Original Town of Reardan as per plat thereof recorded in Book A of Plats, page 51.**

**The South Half of the Northeast Quarter of Section 16, Township 25 North, Range 39 E.W.M., Lincoln County, Washington, EXCEPT the West 70 acres of said South Half of the Northeast Quarter AND EXCEPT commencing at a point 35 feet West of the Southeast corner of the Northeast Quarter of the Northeast Quarter of Section 16; thence 172 feet South, thence West 289 feet, thence North 172 feet, thence East 289 feet to the place of beginning; AND EXCEPT commencing at the Southeast corner of the Northeast Quarter of the Northeast Quarter of said Section 16, thence South 172 feet, thence West 35 feet, thence North 172 feet, thence East 35 feet to the place of beginning.**

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## SECTION II

**This annexation shall include the following restrictions and requirements:**

**The Town of Reardan shall have full and unrestricted access to all water, sewer, and any and all other Town maintained utilities presently existing or existing in the future.**

**FIELD ACCESS: Unobstructed access to the adjoining farm ground by way of Cottonwood Avenue and Spokane Avenue shall remain in perpetuity.**

**PRIOR to the issuance of any building permits for ANY structure (dwelling, storage, etc.) the following requirements must be met. All costs associated with meeting the following requirements are the sole responsibility of the developer.**

- 1. SURVEY: A survey of the property by a surveyor licensed and bonded in the State of Washington must be completed. Said survey must locate and permanently mark all corner points of the property. A copy of the survey must be filed with the Town and a copy filed at the Lincoln County Court House.**
- 2. DRAINAGE DESIGN: A drainage plan by an engineer licensed and bonded in the State of Washington is required. The plan must encompass the full property and maintain the naturally occurring watershed flow. Said plan must be submitted to the Town Council for review and approval.**
- 3. WATER LINE: An 8 inch water line using C900 pipe is required. The line must be designed by an engineer licensed and bonded in the State of Washington. Said plan must be approved by the State of Washington Department of Health. The line must run the length of the new North-South street and connect to the existing water line at the intersection of Maple Street and Spokane Avenue and also at the intersection of Maple Street and Cottonwood Avenue. All side services shall be 1 inch copper from the 8 inch line to the curb stop. Curb stop shall be located within two feet of the sidewalk. Said 8 inch water line shall follow the general plan as set forth in Exhibit "A" to this Ordinance.**
- 4. FIRE HYDRANT: A 6 inch fire hydrant shall be installed at the intersection of new street and Cottonwood Avenue.**

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5. **SEWER LINE:** An 8 inch sewer line using standard sewer pipe is required. The line must be designed by an engineer licensed and bonded in the State of Washington. Said plan must be submitted to the Town Council for review and approval. Said 8 inch sewer line shall follow the general plan as set forth in Exhibit "A" to this Ordinance. This plan shall include a manhole at the northern and southern terminus of the new street and a manhole at the intersection of the new street and Cottonwood Avenue. From the manhole at new street and Cottonwood, an 8 inch line shall connect to the manhole at the intersection of Maple Street and Cottonwood Avenue. Side sewer services shall use a pipe with a minimum inner diameter of 4 inches.

**PRIOR** to the issuance of a **CERTIFICATE OF OCCUPANCY** and prior to the initiation of water and sewer service, the following requirements must be met. All costs associated with meeting the following requirements are the sole responsibility of the developer.

1. **ALLEY:** Alleys are **NOT** required.
2. **SIDEWALKS:** Sidewalks are required. As each residence is built, the sidewalks abutting that residences property lines shall be constructed. Sidewalks shall have a minimum width of 5 feet and shall have a minimum depth of 4 inches. Sidewalks shall meet all Americans with Disabilities Act requirements.
3. **STREETS:** Paved streets are required. The new street shall have an easement width of 80 feet. The extension of Cottonwood Avenue shall have an 80 foot width. The extension of Spokane Avenue shall be 48 feet per Exhibit "A". Surface shall be 2 inches of asphalt over a 6 inch layer of compacted gravel with a minimum width of 20 feet. Intersections shall have fully developed and paved radiuses. The gaps on Cottonwood Avenue and Spokane Avenue between the annexed area and Maple Street shall also be paved. Fully detailed plans must be submitted to City Hall and approved by the Town Council **BEFORE** commencement of construction.

Each of the building sites shall be assessed a fair portion of the estimated cost of paving and this money shall be placed in an escrow account managed by the Town. Once 75% (75 percent) of the sites have been developed (Certificates of Occupancy issued) then the developer shall pave the entire length of the new street and the portions of Cottonwood and Spokane streets that connect to the new street with fully developed radiuses at the intersections. The streets shall be gravelled as soon as the streets are opened in order to reduce the dust problem.

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**BUILDING PERMITS:** Building permits issued under the 5 permits per year restrictions that have not been used as of October 1st shall be available for use by a developer of the annexed area. Such option shall continue in effect as long as the building restrictions are in effect.

## **SECTION III**

This annexation shall be effective upon passage and publication of this ordinance and the property so annexed shall become part of the Town of Reardan.

## **SECTION IV**

All of the property subject to taxation within the territory annexed shall be assessed and taxed at the same rate and on the same basis as other property within the Town, to pay for any existing indebtedness of the Town contracted prior to the effective date of this ordinance.

## **SECTION V**

The annexation area shall be zoned Single Family Residential.

## **SECTION VI**

Previously enacted ordinances or resolutions affected hereby are accordingly modified if in conflict with the provisions hereof.

## **SECTION VII**

If any provision of this ordinance, or of the codes referred to herein, or its application to any person or circumstances is held invalid, the remainder of this ordinance or the application of the provision to other persons or circumstances is not affected.

## **SECTION VIII**


Any person violating this ordinance shall pay for any and all damages caused; and in addition, shall pay any and all legal fees, courts costs, or other costs necessary to enforce this ordinance.

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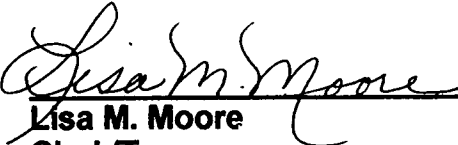
## SECTION IX

THAT, this Ordinance shall become effective immediately upon its passage, approval and publication.

Approved this 22nd day of June, 2000.

  
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Wayne Hill  
Mayor

ATTEST:

  
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Lisa M. Moore  
Clerk/Treasurer